



VILLAGE OF OBETZ  
RECORD OF ORDINANCES

ORDINANCE: 25 - 20

PASSED: August 10, 20

AN ORDINANCE TO REZONE A 4.85 ACRE LOT SPLIT FROM PARCEL NUMBER 153-000673 FROM GENERAL COMMERCIAL TO RESTRICTED INDUSTRIAL AND REMOVE THE LOT SPLIT FROM THE WILLIAMS ROAD OVERLAY

WHEREAS, parcel 153-000673 is a 14.856 acre lot; and,

WHEREAS, DBT Properties LLC desires to split off and purchase 4.85 acres from parcel number 153-000673 in order to expand an existing business; and,

WHEREAS, parcel number 153-000673 is zoned General Commercial and is in the Williams Road Overlay which prohibits the use proposed by DBT Properties LLC; and,

WHEREAS, DBT Properties LLC has applied for a zoning amendment (rezoning) in order to change the zoning of the newly created lot to Restricted Industrial and remove it from the Williams Road Overlay; and,

WHEREAS, the Planning and Zoning Commission held a public hearing on June 19, 2020 at 6:00 PM; and,

WHEREAS, the Planning and Zoning Commission recommended approval of the rezoning and removal from the Williams Road Overlay at its June 10, 2020 meeting; and,

WHEREAS, the Council of the Village of Obetz held a public hearing on August 10, 2020 as part of the regularly scheduled Council meeting as required by the Codified Ordinances of the Village.

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE VILLAGE OF OBETZ, OHIO, THAT:**

Section 1. The 4.85 acre lot split from parcel 153-000673 is General Commercial to Restricted Industrial and is removed from the Williams Road Overlay.

Section 2. Once the lot is split, it shall be combined with 153-000007.

Section 3. The official zoning map of the Village of Obetz be amended to reflect the aforementioned zoning change.

Section 4. This Ordinance shall take effect at the earliest time permitted by law.

Passed this 10 day of August, 2020.

ORDINANCE: 25 - 20

PASSED: August 10, 20

ATTESTS:

Stacey Boumis  
Stacey Boumis, Clerk of Council

Angela M. Kirk  
Angela M. Kirk, Mayor

Michael R. Flaherty  
Michael Flaherty, Council Pres. Pro-Tem

APPROVED AS TO FORM

[Signature]  
Stephen J. Smith, Esq., Law Director

CERTIFICATION OF PUBLICATION

Pursuant to the Village Charter, I, Stacey E. Boumis, Clerk of Council of the Village of Obetz, Ohio, do hereby certify that Ordinance 25-20 was duly posted at 4:00 PM (time) on the 11 day of August, 2020, at the Obetz Government Center, Obetz Athletic Club, and Obetz Community Center as well as on the Obetz website.



Stacey Boumis  
Stacey Boumis, Clerk

8/11/20  
Date



# 4.856 ACRE LOT SPLIT

Situated in the State of Ohio, County of Franklin, Village of Obetz, in the Northeast quarter of Section 13, Twp. 4, Range 22, Congress lands, and being part of a 16.856 acre tract as conveyed to Louis F., James A., & Kurt V., Varga of record in O.R. 8915 E15, O.R. 9399 B14, O.R. 9399 B16, Instrument #'s 199709030084224 & 200302250054669, as recorded in the Franklin County Recorder's office and being more particularly described as follows:

BEGINNING at a F.C.G.S. # 8819 monument being in the centerline of Williams Road (R/W Varies), and the Northwest corner of said 16.856 acre tract, thence;

S 86° 05' 29" E, a distance of 411.13 feet, along the centerline of said Williams Road and the North line of said 16.856 acre tract, to a point, said point being the Northeasterly corner of said 16.856 acre tract, the Northwest corner of a 0.509 acre tract as conveyed to Carla J. Varga & Kurt V. Varga of record in O.R. 34150-H-06, and the centerline of said Williams Road, thence;

S 03° 56' 09" W, a distance of 614.44 feet, along an East line of said 16.856 acre tract, the West line of said 0.509 acre tract, and the West line of a 8.437 acre tract as conveyed to Carla Varga, Vikki Schulman & Vikki Kitchen of record in Instrument # 200302250054672, to a found 1" OD iron pipe, being the Southwest corner of said 8.437 acre tract and a Northeasterly corner of said 16.856 acre tract, thence;

S 86° 03' 51" E, a distance of 82.14 feet, along a Northerly line of said 16.856 acre tract, and the South line of said 8.437 acre tract, to an iron pin set at the TRUE POINT OF BEGINNING for the acreage herein described, thence;

S 86° 03' 51" E, a distance of 408.20 feet, along a Northerly line of said 16.856 acre tract, and the South line of said 8.437 acre tract, to an iron pin set on the Northerly line of said 16.856 acre tract, the South line of said 8.437 acre tract, and the Northwest corner of a 2.000 acre tract as conveyed to DBT Properties LL., of record in Instrument # 201011120152598, thence;

S 04° 04' 27" W, a distance of 585.88 feet, along an East line of said 16.856 acre tract and the West line of said 2.000 acre tract, to an iron pin set at the Southwest corner of said 2.000 acre tract, on the South line of said 16.856, and the North line of a 9.75 acre tract as conveyed to Chesapeake and Ohio Railway as conveyed from Hocking Valley Railway Company by deed of record in D.B. 924 Pg. 338, now known as CSX Transportation INC., successor by merger, whose merger documents have been summarized and recorded as O.R. 13276 A14 and subsequently re-recorded as O.R. 13283 G13, thence;

N 67° 43' 03" W, a distance of 429.72 feet, along the South line of said 16.856 acre tract and the North line of said 9.75 acre tract, to an iron pin set, thence;

N 04° 04' 27" E, a distance of 450.62 feet, going through said 16.856 acre tract to the TRUE POINT OF BEGINNING and containing 4.856 acres, more or less, and subject to all legal easements and rights-of-way of record.

Bearings are based on the centerline of Williams Road as S 86° 05' 29" E determined from NAD83 ODOT Coors Station by GPS Observation.

The above description was prepared from an actual field survey made under the direct supervision of Michael Ziska, PS # 8621 on November 18<sup>th</sup>, 2019. Iron pins found are 3/4" by 30" with cap inscribed "TT 8621".

See attached Exhibit "A".

*Michael R. Ziska*

Michael R. Ziska PS 8621

11/21/2019

APPROVED



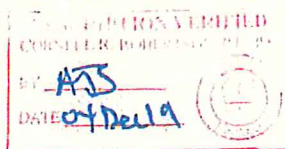
JAN 29 2020

*[Signature]*

Michael Corbitt, PE  
Village Engineer

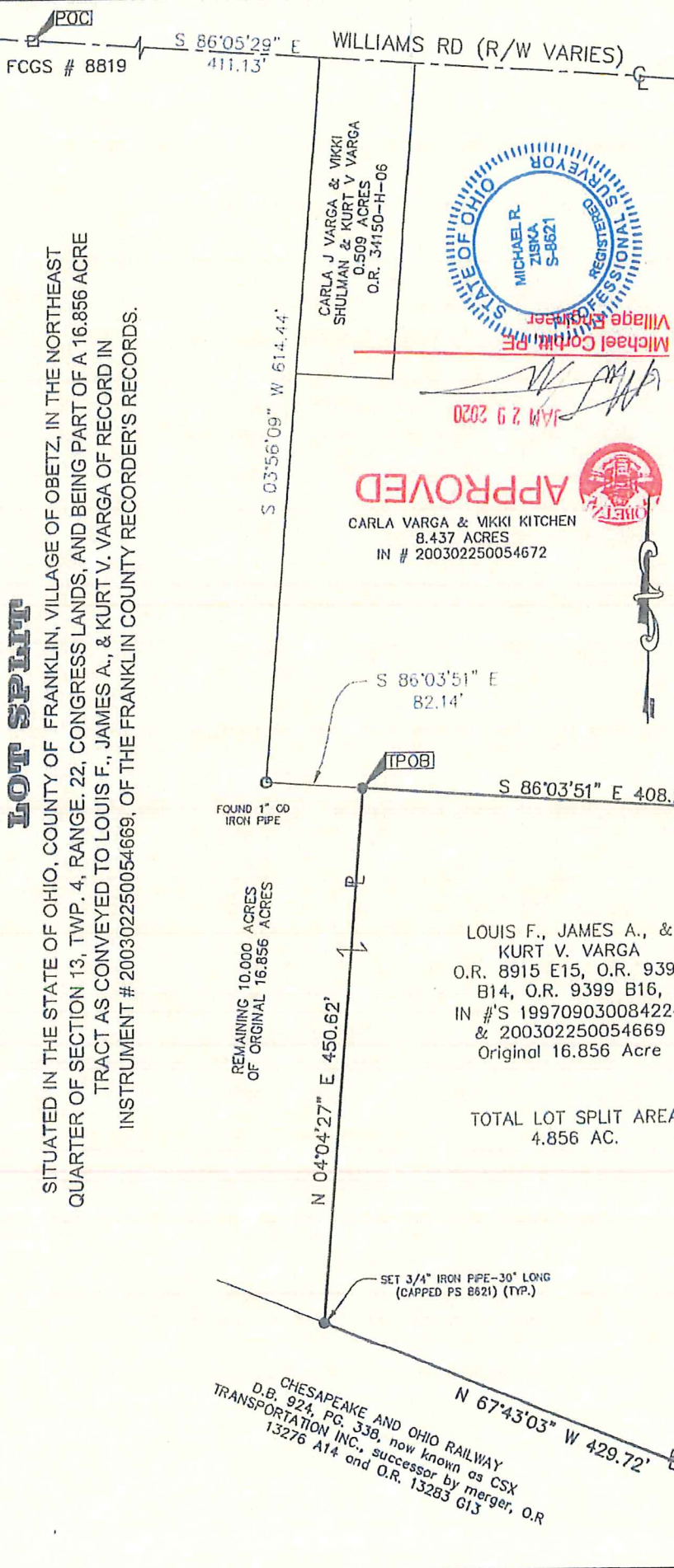


Split  
4.856 acm  
out of  
(153)  
673



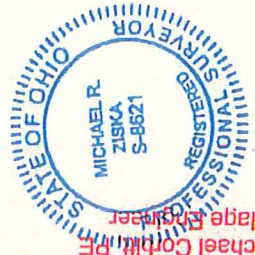
# LOT SPLIT

SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, VILLAGE OF OBETZ, IN THE NORTHEAST QUARTER OF SECTION 13, TWP. 4, RANGE 22, CONGRESS LANDS, AND BEING PART OF A 16.856 ACRE TRACT AS CONVEYED TO LOUIS F., JAMES A., & KURT V. VARGA OF RECORD IN INSTRUMENT # 200302250054669, OF THE FRANKLIN COUNTY RECORDER'S RECORDS.



CARLA J VARGA & VIKKI SHULMAN & KURT V VARGA  
0.509 ACRES  
O.R. 34150-H-06

**APPROVED**  
CARLA VARGA & VIKKI KITCHEN  
8.437 ACRES  
IN # 200302250054672



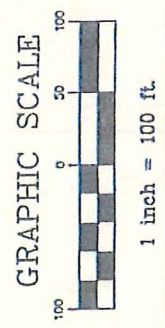
*Michael R. Ziska*  
JAN 29 2020

## LOT SPLIT

SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, VILLAGE OF OBETZ, IN THE NORTHEAST QUARTER OF SECTION 13, TWP. 4, RANGE 22, CONGRESS LANDS  
CERTIFICATION: THIS PLAT IS PREPARED FROM RECORDS ON FILE AT THE FRANKLIN COUNTY AUDITOR, RECORDERS & ENGINEERS OFFICE AND BASED ON AN ACTUAL FIELD SURVEY PERFORMED UNDER THE DIRECT SUPERVISION OF MICHAEL R. ZISKA, REGISTERED SURVEYOR, REG. NO. 8621, UNDER 10, 2019 AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

BY: *Michael Ziska*  
Michael R. Ziska REGISTERED STATE OF OHIO  
PROFESSIONAL SURVEYOR No. 8621  
DATE OF PLAT: 11/21/2019

Beats of Bearings based on the centerline of Williams Road as S 85° 05' 20" E determined from NAD83 000T Coors Station by GPS Observations.



FOUND 1" OD IRON PIPE

REMAINING 10.000 ACRES OF ORIGINAL 16.856 ACRES

LOUIS F., JAMES A., & KURT V. VARGA  
O.R. 8915 E15, O.R. 9399 B14, O.R. 9399 B16,  
IN #'S 199709030084224 & 200302250054669  
Original 16.856 Acre

TOTAL LOT SPLIT AREA  
4.856 AC.

SET 3/4" IRON PIPE-30' LONG (CAPPED PS 8621) (TYP.)

CHESAPEAKE AND OHIO RAILWAY  
O.B. 924, P.G. 338, now known as CSX  
TRANSPORTATION INC., successor by merger, O.R.  
13276 A14 and O.R. 13283 G13

DBT POPERTIES LLC.  
2.000 ACRES  
IN # 20101120152598