



VILLAGE OF OBETZ
RECORD OF ORDINANCES

ORDINANCE: 04 – 20

PASSED: April 13, 2020

AN ORDINANCE TO APPROVE THE FINAL DEVELOPMENT PLAN FOR COP OBETZ, LLC AND DEVELOPMENT TEXT FOR SUBAREA B OF THE WALNUT CREEK CENTER

WHEREAS, Franklin County Auditor Parcel Numbers 153-000031, 153-000020, 153-000034, 153-000035, and 153-000036 are part of the area known as the Walnut Creek Center; and,

WHEREAS, these parcels are zoned Planned Commercial District (PCD); and,

WHEREAS, these parcels are presently undeveloped and development will occur in phases; and,

WHEREAS, a Development Text has been prepared for the all development sites located in Subarea B in anticipation of the construction of medical, retail, and restaurant facilities; and,

WHEREAS, a Final Development Plan has been submitted by COP Obetz, LLC for the construction of a dialysis center in Subarea B; and,

WHEREAS, the Planning and Zoning Commission recommended approval of the Final Development Plan and Development Text at its March 11, 2020 meeting.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE VILLAGE OF OBETZ, OHIO, THAT:

Section 1. The Development Text for Subarea B of Franklin County Auditor Parcel Numbers 153-000031, 153-000020, 153-000034, 153-000035, and 153-000036 attached hereto as Exhibit A and incorporated herein by reference, is hereby approved.

Section 2. The Final Development Plan submitted by COP Obetz, LLC for a one acre development located on Franklin County Auditor Parcel 153-000036 and part of Subarea B of the Walnut Creek Center, attached hereto as Exhibit B and incorporated herein by reference, is hereby approved.

Section 2. This Ordinance is shall take effect at the earliest time permitted by law.

Passed this 13 day of April, 2020

ORDINANCE: 04 – 20

PASSED: April 13, 2020

ATTESTS:

Stacey Boumis
Stacey Boumis, Clerk of Council

Angela M. Kirk
Angela M. Kirk, Mayor

Michael R. Flaherty
Michael Flaherty, Council President Pro Tem

APPROVED AS TO FORM

Stephen J. Smith, Esq., Law Director

CERTIFICATION OF PUBLICATION

Pursuant to the Village Charter, I, Stacey E. Boumis, Clerk of Council of the Village of Obetz, Ohio, do hereby certify that Ordinance 04 – 20 was duly posted at 2:30 PM (time) on the 9 day of June, 2020, at the Obetz Government Center, as well as on the Obetz website.

Stacey Boumis
Stacey Boumis, Clerk

6/9/20
Date



Walnut Creek Center - Development Text
Sub-Area B

Ordinance 04-20
Exhibit A

Introduction:

Intent: The Walnut Creek Center (“WCC”) is a mixed use commercial, office, and medical district along Alum Creek Drive. The diversity of uses permitted at the WCC shall create jobs and provide much needed amenities to the residents and businesses of Obetz as well as the surrounding communities. The WCC shall be a destination. It will contain public open space that can be used by the community for events. It will also contain pathways that connect the sites within it and that connect to the surrounding neighborhood.

Location: The Walnut Creek Center (“WCC”) is located within the boundaries of the Village of Obetz, along western side of Alum Creek Drive, north of Interstate 270. It contains multiple parcels owned by multiple land owners.

Zoning: Planned Commercial District (“PCD”)

Definitions: Unless otherwise defined within this Development Text, definitions shall have the same meaning as set forth in the Codified Ordinances of Obetz (in its existing form as of September 1, 2016).

Development Text and Development Plan Applicability: The Development Text contained herein applies to Subarea B only. Amendments to the Development Text and Development Plan will be required prior to the development of the remaining subareas. The Amendments will require approval of both the Planning & Zoning Commission and Council.

Permitted Uses. The following are the permitted uses (unless otherwise listed as prohibited) in Subarea B of the Walnut Creek Center.

- All permitted uses listed in Section 1145.02 of the Codified Ordinances
- Food & Lodging Uses
- The following uses listed in Section 1147.02 of the Codified Ordinances
 - Retails Stores unless otherwise listed as Prohibited
 - Business and Professional Offices
 - Personal and Consumer Services
- The following uses listed in Section 1153.02 of the Codified Ordinances
 - Administrative and Business Offices
 - Professional Offices
 - Institutions
 - Educational and Research Establishments

Conditional Uses. The following are the conditional uses in Subarea B of the Walnut Creek Center.

- Automotive service stations or convenience markets
- Building Material Supplier/ Outdoor Storage as the ancillary use
- Outdoor storage as an ancillary use

Prohibited Uses. All uses not listed as permitted are otherwise prohibited. The list below is not an exhaustive list of all prohibited uses. Rather, the list prohibits those uses otherwise permitted in the Neighborhood Commercial, General Commercial, and Suburban Office and Institution Zoning District.

- Pawn shops
- Check cashing facilities not associated with a bank or credit union
- Vehicle sales
- Tattoo parlors or body piercing shops
- Commercial kennels (except as the secondary use to a Veterinarian Office/ Hospital)
- Outdoor storage as a primary use
- Parking of vehicles as a primary use
- Limited Price variety and discount stores
- Second Hand stores containing more than 50% clothing related items.
- Businesses offering skill based amusement games

Development Standards – Subarea B: All improvements shall meet the provisions set forth in Section 1159.03 of the Codified Ordinances of Obetz unless otherwise indicated in this Development Text.

1) Building Setbacks

- i. Alum Creek Drive: Buildings that front Alum Creek Drive shall have a 30' minimum setback from the right-of-way.
- ii. Front Setbacks (except for those located along Alum Creek Drive): All front setbacks shall be a minimum of 5' for parking and maneuvering areas, canopies, and 10' for buildings.
- iii. Side and Rear Building Setbacks: The minimum setbacks shall be 5' for parking and maneuvering areas, canopies, and buildings, provided however, that there shall be a zero setback requirement so long as the shared boundary line of the parcels in question are being developed as a unified development.

2.) Access, Loading, and Parking: All access, streets, loading, and parking areas shall be designed to the Village's design standards and shall be approved by the Village Engineer prior to construction. The guidelines below are in addition to the Village's design standards.

- a. Pedestrian Access: A sidewalk or other pedestrian trail shall be installed along all roadways, whether or not a roadway is considered public right-of-way. The selected sidewalk or other pedestrian trail shall be consistent with or complimentary to existing walks or trails.
- b. Private Streets: For private streets each directional lane shall be a minimum of twelve (12) feet if there is two way traffic and eighteen (18) feet if it is a one way street. All private streets shall include a curb. Individual lots may abut to private streets and are not required to abut to a public right of way.
- c. Loading Zones: Delivery areas, material pick-up areas, and trash pick-up locations shall be located at the rear or side of the building or parcel where possible. Patient or passenger drop-off areas shall not be considered a Loading Zone.
- d. Parking Location: Unless otherwise stated herein or otherwise depicted on the preliminary development plan, all parking and loading shall be regulated by Village of Obetz Code, Chapter 1169. Parking areas visible from Alum Creek Drive shall be kept to a minimum. All parking areas visible from Alum Creek Drive shall be screened to minimize the view of the parking area from Alum Creek Drive.
- e. Shared Parking: There shall be shared parking between the main anchor building, the restaurant/ retail attached thereto and the multi-tenant retail buildings.
- f. Parking Requirements: There are no minimum parking spaces required. Parking areas shall be sufficient to accommodate all parking needs for employees, company vehicles, visitors, and customers without the use of on-street parking.

3.) Landscaping, Lighting, Utilities, and Enclosures

- a. Landscaping and Tree Care Standards: All developments shall follow the guidelines set for in Sections 1167.05 & 1167.07 of the Codified Ordinances of Obetz, unless otherwise stated in this Development Text.
 - i. Street Trees on Private Streets: Street trees shall be provided along all private roads and shall follow the same guidelines as those set for public roads.
 - ii. Mechanical Equipment: All ground-mounted mechanical equipment shall be fully screened from off-site view by a solid wall or fence consisting of materials that are consistent with one or more of the primary or secondary materials that

are used on the nearest structure that is served by the relevant mechanical equipment.

iii. Site Landscaping Standards:

1. In addition to the requirements for off-street parking areas, there shall be thirty (30) square feet of landscaped area and a tree with a dbh of at least two (2) inches for every thousand (1000) square feet of building ground coverage area, or fraction thereof. All areas of a lot not covered by buildings, structures, paving, or the landscaping shall be covered by a natural turf.
2. There shall be a foundation plantings used to soften the building edges and screen foundations. Foundation planting shall be placed within five (5) feet of the building perimeter when feasible. The Zoning Administrator may modify this requirement if, because of site design considerations such as the location of sidewalks or service areas, this is not feasible. The Zoning Administrator may also allow such plant materials to be grouped together and located in other areas of the site.
3. Landscaped areas shall be located adjacent to all public entrances. Landscaped areas shall include a combination of deciduous trees, shrubs, ornamental plantings, perennials, and groundcover. The Zoning Administrator can waive the requirement for trees based on overall site design.
4. Interior Parking Area Landscaping: Landscaping requirements will be determined by the Planning and Zoning Commission on a per site basis.
5. All areas used for service, loading and unloading activities shall be screened along the entire lot line(s) if adjacent to or abutting a residential zoning district.
 - a. Screening shall consist of walls, fences, natural vegetation or an acceptable combination of these elements, provided that screening must be at least seven (7) feet, and walls and fencing no more than twelve (12) feet in height. Chain link or wood fencing is not permitted.
 - b. Natural vegetation screening shall have a minimum opaqueness of 75% at all times. The use of year round vegetation, such as pines or evergreens, is required. Vegetation shall be planted no closer than three (3) feet to any property line. Vegetation shall not be planted in the right-of-way.

- b. Utilities: The following utilities shall be provided, constructed, and installed underground: gas lines, sanitary and storm sewer lines, water lines, electrical lines, telephone lines, fiber optic cables, and cable television lines.
 - i. A stormwater management plan (the “SW Plan”) shall be in place prior to commencement of construction on a given parcel. The SW Plan shall demonstrate the parcel does not adversely impact any public or private regional stormwater management facilities, including, but not limited to shared stormwater basins.

- c. Lighting: External light fixtures may be pole or wall mounted. All parking lot lighting shall be limited to 40’ in height, except lighting that is adjacent to any residential property, which shall be limited to 30’. All light poles shall be black. All lighting fixtures shall be approved by the Zoning Administrator prior to installation and shall be consistent throughout the development.
 - i. Lighting levels in the parking lot shall be consistent with the recommendations of the Illuminating Engineering Society of North America.

4.) Signage: All signage shall comply with Exhibit A of this Development Text as well as the requirements of Codified Ordinances Chapter 1175.04(a). All street signs installed on public streets shall be uniform in design to the Village’s street signs. All street signs installed on private streets shall be approved by the Zoning Administrator prior to installation and shall compliment the public street signs.

Architectural Requirements: The WCC is located in the Alum Creek Drive overlay and subject to Architectural Review. All buildings shall undergo Architectural Review and are subject to the following guidelines:

- a. Exterior Design: The design treatment of each site, parcel or sub-parcel and all proposed or renovated structures thereon shall ensure compatibility and sensitivity to properties and structures existing in the development. The industrial nature of Obetz' development shall be taken in account, and a more modern mix of metal façade treatments is acceptable.
- b. Building Materials: Building materials shall consist of primarily brick, stone, stucco, glass, pre-cast masonry, pre-cast concrete, metal, split-faced block, or fiber cement board.(No vinyl siding)
- c. Height Requirements: Building height shall be measured from the ground level to the top of the building, excluding mechanical equipment (total with the associated screening).
 - i. The maximum height of buildings in Subarea B (as shown in Exhibit B) shall be 25'. Site #5 as denoted within Subarea B shall have a max height of 45'.
 - ii. The Planning and Zoning Commission may approve a building up to 55' in height depending on the use and setbacks.

Exhibit A

Walnut Creek Sign Code, Sub B

GENERAL REQUIREMENTS FOR ALL SIGNS:

(a) Colors. Not more than three (3) colors may be used per sign. For purposes of this Section, white and black shall not be considered a color. Neon and fluorescent colors are prohibited.

(b) Lettering Styles and Sign Coverage. No more than two letter styles or more than three sizes of letters are permitted per sign. Letters may not occupy more than seventy-five percent (75%) of any sign panel.

(c) Measurement of Sign Area.

(1) The surface area of a sign shall be calculated by enclosing the extreme limits of all lettering, background, emblem, logo, representation, or other display within a single continuous perimeter composed of squares or rectangles with no more than eight lines drawn at right angles.

(2) Supporting framework or bracing that is clearly incidental to the display itself shall not be computed as sign area.

(3) Double-faced (back-to-back) signs shall be regarded as a single sign only if mounted on a single structure, and the distance between each sign face does not exceed two (2) feet at any point. Only one face of an identical double-faced sign shall be measured when determining maximum allowable area.

(4) Where a sign consists of one or more three-dimensional objects (i.e., balls, cubes, clusters of objects, sculpture, or statue-like trademarks), the sign area shall be measured as their maximum projection upon a vertical plane.

(5) Regardless of their spacing, the letters forming a word or name shall be considered a single sign.

(d) Measurement of Sign Height. The height of a sign shall be computed as the distance from the base of the sign at a computed grade to the top of the highest attached component of the sign (including the sign face, sign structure, or any other appurtenance). The computed grade shall be the elevation of the nearest point to the proposed sign location of the crown of the nearest public street providing access; or the grade of the land at the principal entrance to the principal structure on the lot, whichever is higher.

(e) Alterations. No sign shall hereafter be altered, rebuilt, enlarged, extended or relocated except in conformity with the provisions of this Chapter. The repainting of signs shall not be deemed to be an alteration within the meaning of this Chapter.

(f) Sign Maintenance. Signs and supporting hardware shall be structurally safe, clean, free of visible defects, and functioning properly at all times. Visible rot or rust, exposed lighting sources or wires, falling parts, or broken and missing parts are prima facie evidence that a sign is in a state of disrepair. Repairs to signs shall be equal to or better in quality of materials and design than the original sign.

(g) Notice to Repair. When the Zoning Inspector determines that such a sign exists in a state of disrepair, the Zoning Inspector shall issue to the owner of the sign and the owner of the real estate a notice of such disrepair and the need for corrective action. Any party receiving such notice may appeal the notice to the Planning and Zoning Commission in accordance with Section 1175.15. If such an appeal is not filed within fifteen (15) days of the date on which the notice is sent, persons receiving the notice shall be responsible for repairing the sign or otherwise bringing it into conformance with this Chapter. The repair work shall be accomplished within thirty (30) days of the date of the notice, unless the person undertaking the work files a request with the Zoning Inspector for an extension. If such request shows diligence and good faith such as ordering materials or signing a contract with a licensed contractor, the Zoning Inspector shall grant an extension of thirty days for completion of the work. If an appeal is filed in accordance with Section 1175.15, the time for performance shall be delayed until resolution of the appeal. If the Zoning Inspector finds that the lack of repair constitutes a danger to persons or to property other than that of those persons receiving the notice, the Zoning Inspector shall so state in the notice and the Municipality may seek immediate relief under the Building Code or under the laws of public nuisance.

(h) Sign Removal or Replacement. When a sign is removed or replaced, all brackets, poles, and other structural elements that supported the sign shall also be removed. Affected building surfaces shall be restored to match the adjacent portion of the structure.

(i) Sign Attachment and Support. No sign shall be attached to or supported by a tree, utility pole, light pole, trash receptacle, bench, vending machine, gasoline pump or hose, or public shelter, nor shall such sign be painted or drawn upon rocks or other natural features.

(j) Changeable Copy Signs. Manual changeable copy signs shall not be permitted on permanent freestanding signs.

(k) Electronic signs could be permitted, and Planning & Zoning will determine the proposed electronic sign for approval.

(l) All signs not otherwise permitted by within this Development Text are prohibited.

PERMANENT SIGNS.

1) Type, Maximum area and height.

A. Wall signs. No more than four (4) wall signs shall be permitted (and only one sign per exterior facing primary wall face). The total area shall not exceed one (1) square foot per one (1) lineal foot of the length of the wall on which the sign is to be attached or one hundred and forty-four (144) square feet. The maximum height permitted on a one (1) story building shall be twelve (12) feet. The maximum height permitted on a two (2) story building shall be sixteen (16) feet. The maximum height permitted on a three (3) story or higher building shall be twenty (20) feet.

- The Planning and Zoning Commission may review signs to determine if they need to exceed the total square footage requirements and max height requirements in this text based on additional considerations, such as the total structure height, placement, site-lines, and overall building design.

- (1) Location. All wall signs shall be mounted on the building which houses the establishment advertised by such signs, except as otherwise specifically authorized by this Zoning Code. Such signs shall be located on or along a wall of such a building which faces a street, parking lot, or service drive, and shall not project above the roof line or the cap of parapets of such building, whichever is higher.
- (2) Projection from wall. All wall signs shall be parallel to the wall on which they are installed. The sign shall not project above the edge of the roof of the structure and from the surface upon which it is attached more than twelve (12) inches in a non-residential district.

(I.) Blade and awning and canopy signs shall be considered wall signs in Sub Area B.

(II.) Awning and Canopy Signs. Awning and canopy signs may be permitted only as an integral part of the awning or canopy to which they are attached or applied and shall meet the following conditions:

- (1) Location. Signs may be placed only on awnings that are located on first- and second-story building frontages, including those fronting a parking lot or pedestrian way.
- (2) Extension. Such signs shall not extend more than three (3) feet from the face of the building to which they are attached.
- (3) Minimum clearance. A minimum clearance of ten (10) feet shall be maintained above sidewalks.
- (4) Setbacks. The awning shall be able to extend into the setbacks established for the building by 4 feet.
- (5) Copy. The copy on an awning sign shall not exceed fifty (50) percent of the sign's total area.
- (6) Illumination. Internal illumination is prohibited.

(III.) Blade Signs.

- (1) Location. Blade signs shall be placed only on a ground floor façade, except for businesses located above the ground level with direct exterior pedestrian access.
- (2) Height above finished grade. The lowest point of a blade sign shall be at least eight (8) feet, but no more than fifteen (15) feet above finished grade. Blade signs shall not extend beyond the roof line.
- (3) Sign structure. Sign supports and brackets shall be compatible with the design and scale of the sign. Brackets and/ or hardware for the sign may not extend more than four inches from the outside face of the sign.
- (4) Square footage. A maximum of ten (10) square feet will be allowed.

(5) Illumination. Internal illumination is prohibited.

(IV.) Window Signs. Window signs are permitted in this district and do not require a Sign Permit. However, all window signs shall meet the following conditions:

- (1) Number. No more than one (1) permanent or temporary window sign is permitted per window.
- (2) Surface coverage. Window signs may not be larger than fifty percent (50%) of the aggregate window area.
- (3) Illumination. Window signs shall not be illuminated.

B. Freestanding (Monument) signs. No more than one (1) sign shall be permitted per site.

Freestanding signs. The total area shall not exceed sixty-four (64) square feet and eight (8) feet in height.

- (1) Posts. Pylon signs shall be prohibited.
- (2) Monument signs: The height of the base will be included when calculating the height of the sign.
- (3) Cantilever signs. The post used to anchor cantilever signs shall be wood or another natural material such as brick or stone.
- (4) Landscaping. Landscaping shall be provided at the base of the supporting structure equal to twice the area of one face of the sign (no trees) Landscaping is not required on temporary, freestanding signs.
- (5) Location. The sign must be located along frontage adjoining to a public street.
- (6) Setbacks. The front setback for freestanding signs shall be five (5) feet from the public right-of-way line unless otherwise stated. The sign must also meet the side yard setback for the applicable zoning district unless otherwise stated. The minimum setback for a freestanding monument sign along Alum Creek shall be ten (10) feet from the right of way.
- (7) Base: The base of the monument sign shall be a natural material.

C. Joint identification signs. No more than one (1) sign shall be permitted. A secondary joint identification sign shall be permitted if the property fronts two (2) or more public streets and is located on a lot more than two (2) acres. No more than one (1) secondary joint identification sign shall be permitted per development. Joint identification signs may not exceed sixty-four (64) feet in area or be more than eight (8) feet in height. Additional Freestanding signs will not be permitted if a joint identification sign exists.

- (1) Type. Primary and secondary freestanding joint identification signs must be monument signs.

(2) Setbacks. The front setback for freestanding joint identification signs shall be five (5) feet from the public right-of-way. The sign must also meet the side yard setback for the applicable zoning district unless otherwise stated. The minimum setback for a joint identification sign along Alum Creek shall be ten (10) feet from the right of way.

(2) Illumination.

A. Unless otherwise stated, signs may be illuminated from within or from an external source, but such illumination shall be in a manner which avoids glare or reflection which in any way interferes with traffic safety.

B. Internally illuminated signs shall have an opaque background and translucent copy.

C. External lighting fixtures shall be aimed and shielded so that direct illumination is focused exclusively on the sign.

D. Fixtures shall be mounted on the top of the sign and aimed downward with the exception of signs not taller than seven feet above grade which may be illuminated by ground mounted uplighting not exceeding 100 lamp watts per sign face.

E. The maximum watts permitted to illuminate a sign shall be two watts per sign face square foot provided at no point on the face of the sign and at no time shall the illumination exceed 30 vertical footcandles during hours of darkness.

F. Rotating, traveling, pulsing, flashing, blinking, or oscillating light sources, lasers, beacons, search lights, or strobe lighting are prohibited.

G. Colored lights shall not be used at a location or in a manner so as to be confused or construed as traffic control devices.

H. Light sources shall utilize energy efficient fixtures to the greatest extent possible.

I. Neon lights are prohibited.

(3) Permit Required. Unless otherwise stated, all permanent signs in this text require a Sign Permit.

TEMPORARY SIGNS.

A. General Requirements for All Temporary Signs

(1) Type. Temporary freestanding and wall signs are permitted.

(2) Maximum area and height. Signs shall not exceed twenty-five (25) square feet in area or be more than six (6) feet in height.

(3) Number: No more than two (2) signs are permitted per user at once.

(4) Display period. Each temporary sign may be displayed for no more than 60 days in a calendar year.(No more than 30 days per permit per sign) Temporary signs shall

be removed within 3 days of termination of the dated activity, service, project, sale, or event to which the sign pertains.

(5) Setbacks. Temporary signs shall be located no closer than five (5) feet from the public right-of-way line.

(6) Mounting brackets and posts. All materials used to anchor the sign including mounting brackets and posts shall be removed when the temporary sign is removed.

(7) Illumination. Signs shall not be separately illuminated.

(8) Permit requirements. Unless otherwise indicated, all temporary signs in nonresidential districts require a Temporary Sign Permit. No more than 6 Temporary Sign Permits shall be issued per year.

B. Banner Signs. Banner signs are temporary signs subject to the following conditions:

(1) Number. No more than one (1) banner may be displayed on the property at any one time.

(2) Maximum area and height. Banners shall not exceed forty (60) square feet in area or be more than six (6) feet in height.

(3) The banner sign shall not be displayed above the roof line of any structure.

(4) The banner sign shall be safely secured to a building, structure, or stake. If a stake or structure is used, the stake or structure must be removed at the time the banner is removed.

(5) The banner sign shall have ventilated faces to reduce wind load if the banner is more than five (5) feet in length.

C. Portable Signs. ("A-Frames"/ "T-Frames")

(1) Number. No more than 1 portable sign may be displayed per business or occupant.

(2) Maximum area and height. Such signs shall be not more than four (4) feet high and three(3) feet in width. There shall be no more than two (2) sides to such sign.

(3) Illumination. Portable signs shall not be illuminated.

(4) Use during operating hours. The sign shall be taken inside the establishment when the business closes each night and shall not be placed outside again until the business opens each morning. Three (3) or more violations of this provision during any sixty day (60) day period shall be grounds for the Municipality to suspend or revoke the right of the violator to have a portable sign.

(5) Placement. The sign shall be located directly in front of the business establishment and within ten (10) feet of the principal public entrance to the establishment.

(6) Changeable copy. Changeable copy shall consist of a chalkboard or whiteboard only. Changeable copy signs on wheels are not permitted.

D. Open Signs.

- (1) Businesses/ Tenants are permitted to have one small, electronic entry sign per primary entrance. This sign may hang in the window near the entrance.
- (2) The sign shall not be greater than 3 square feet in area.
- (3) The sign may be illuminated during operating business hours
- (4) Illumination shall be regulated as follows:
 - a. The maximum watts permitted to illuminate a sign shall be two watts per sign face square foot provided at no point on the face of the sign and at no time shall the illumination exceed 30 vertical footcandles during hours of darkness.
 - b. Rotating, traveling, pulsing, flashing, blinking, or oscillating light sources, lasers, beacons, search lights, or strobe lighting are prohibited.
 - c. Colored lights shall not be used at a location or in a manner so as to be confused or construed as traffic control devices.
 - d. Light sources shall utilize energy efficient fixtures to the greatest extent possible.
 - e. Neon lights are prohibited.

PROHIBITED SIGNS.

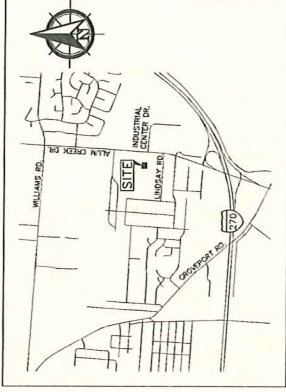
- (a) Prohibited Signs. The following signs and types of signs are inconsistent with the purposes and standards of this text and are prohibited in this district:
 - (1) Signs within any public right-of-way unless specifically authorized under Section 1175.04(a).
 - (2) Flashing, moving, rotating, intermittently lighted signs or other mechanical devices.
 - (3) Air actuated attraction devices.
 - (4) Roof signs.
 - (5) Pole signs.
 - (6) Portable changeable copy signs.
 - (7) Reader boards, and changeable copy signs except as authorized under this Development Text.
 - (8) Flag Type Signs

Exhibit B

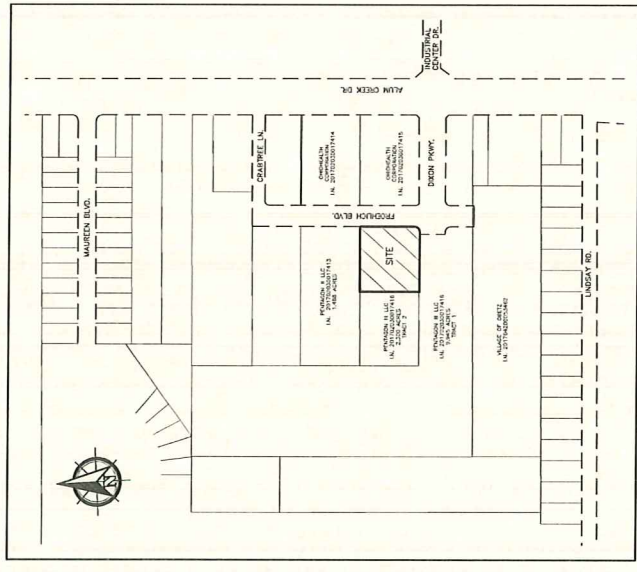
Walnut Creek Sub-Area Map

MAJOR SITE PLAN SUBMITTAL FOR FKC OBETZ FROELICH BOULEVARD OBETZ, OHIO 2020

Ordinance 04-20
Exhibit B



LOCATION MAP
NO SCALE



INDEX MAP
0' 200' 400'
SCALE 1" = 200'

SHEET INDEX

- 1 - TITLE SHEET
- CIVIL
- 2 - SITE PLAN
- 3 - LANDSCAPE PLAN
- 4 - SIGN DETAILS
- ARCHITECTURAL
- BUILDING ELEVATIONS
- ELECTRIC
- SITE LIGHTING

[IBI]

DEFINING THE CITIES
OF TOMORROW

810 North High Street, Suite 100
Cincinnati, Ohio 45202
Phone: 513-561-4400
Fax: 513-561-4401
www.ibiworld.com

TEXTBOOK

SUBSCRIPTION

IBI MEMBER'S DISCOUNT
 ASHBY ENTRY FEE
 CONTRIBUTION BOOKLET FEE
 PUBLISHING EXPENSE FEE
 TOTAL:

FKC OBETZ

FROELICH BLVD,
OBETZ, OHIO 43207

DECISION	DRAWN	CHECKED

IBI NO: 132740

DATE: March 5, 2020

SHEET TITLE:

TITLE SHEET

SHEET NO.: 1





GRAPHIC SCALE
 1" = 10' FEET
 1" = 30' FT.



DEFINING THE CITIES
 8131 North High Street, Suite 100
 Columbus, OH 43235
 614.291.4400
 www.ibiworld.com

DATE	DESCRIPTION

DESIGNER	DATE

CHECKED BY	DATE

PROJECT NO.	DATE

PROJECT TITLE

SHEET NO. 2

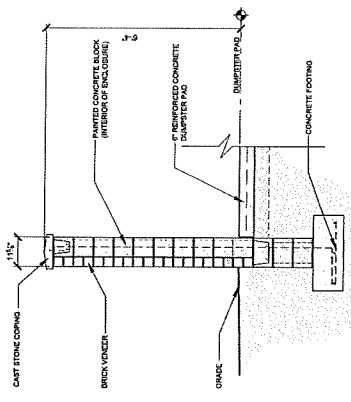
SITE DATA

ADDRESS: FROELICH BLVD.
 CLEVELAND, OHIO
 SITE AREA: 1.001 ACRES
 PARCEL IDENTIFICATION NUMBERS:
 PARCELS 153-000034 & 153-000036
 ZONING/PLANNED COMMERCIAL DISTRICT, PCD
 EXISTING USE: VAUGHN
 BUILDING AREA: 8,088 S.F.
 PARKING:
 STANDARD SPACES PROVIDED: 3A
 TOTAL SPACES PROVIDED: 42

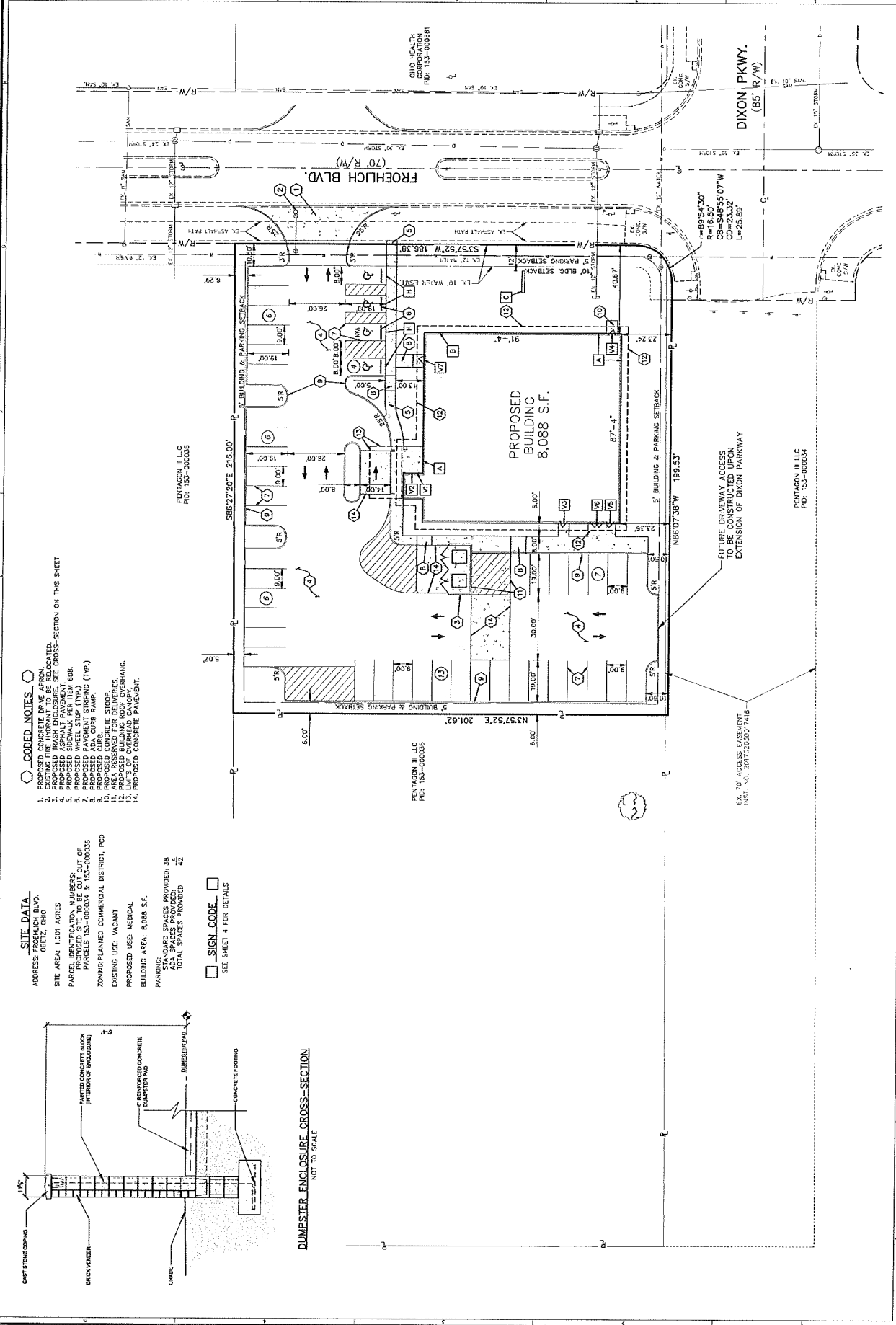
SIGN CODE
 SEE SHEET 4 FOR DETAILS

CODED NOTES

1. PROPOSED CONCRETE DRIVE APRON.
2. PROPOSED ASPHALT DRIVE APRON.
3. PROPOSED ASPHALT PAVEMENT.
4. PROPOSED ASPHALT DRIVE APRON.
5. PROPOSED ASPHALT DRIVE APRON.
6. PROPOSED ASPHALT DRIVE APRON.
7. PROPOSED PAVEMENT STRIPING (TYP.)
8. PROPOSED CURB.
9. PROPOSED CURB.
10. PROPOSED CONCRETE STOPS.
11. PROPOSED CONCRETE STOPS.
12. PROPOSED BUILDING FOOT OVERHANG.
13. HUNTS OF OVERHEAD CANOPY.
14. PROPOSED CONCRETE PAVEMENT.



DUMPSTER ENCLOSURE CROSS-SECTION
 NOT TO SCALE



PROJECT NO.	DATE



DIYANUS TREE SERVICES
 6770 WINDING
 681 North High Street, Suite 108
 Columbus, OH 43201
 Phone: 614-443-3333
 Fax: 614-443-4431
 www.diyanus.com

DATE: 08/11/2014	PROJECT: 133749
DESIGNER: FKC	CHECKER: FKC
DRAWN: FKC	DATE: 08/11/2014
SCALE: 1" = 10'	PROJECT: 133749
DATE: 08/11/2014	PROJECT: 133749

FKC OBETZ
 FROELICH BLVD.
 OBETZ, OHIO 43207

DESIGNER: FKC	CHECKER: FKC
DRAWN: FKC	DATE: 08/11/2014
SCALE: 1" = 10'	PROJECT: 133749
DATE: 08/11/2014	PROJECT: 133749

LANDSCAPE PLAN

SHEET NO: 3

PLANT SCHEDULE

SYMBOL	QUANTITY	COMMON NAME/BOTANICAL NAME	SIZE
RF	12	BUCKTHORN / RHANUS FRANGULA 'ASPENFOLIA'	5 GAL
OB	85	GREEN OLI BOXWOOD / BUXUS MICROPHYLLA 'GREEN OLI'	3 GAL
OH	12	DANIEL'S STELLA DE ORA / HEMEROCALLIS 'STELLA DE ORO'	1 GAL
OT	48	BLUE DART RUSH / JUNCUS TENUI 'BLUE DART'	1 GAL

SYMBOL	QUANTITY	COMMON NAME/BOTANICAL NAME	SIZE
MS	3	SARGENT CRABAPPLE / MALUS SARGENTII	2" CALIPER B&B
MG	4	LITTLE OLI MAGNOLIA / MAGNOLIA GRANDIFLORA	2" CALIPER B&B
OF	3	FLOWERING DOGWOOD / CORNUS FLORIDA	2" CALIPER B&B
AP	1	JAPANESE MAPLE / ACER PALMATUM	2" CALIPER B&B
AA	1	SERVICEBERRY / AMELANCHIER ARBOREA	2" CALIPER B&B
SD	2	MOUNTAIN STEWARTIA / STEWARTIA OVAATA (OR APPROVED EDUAL)	2" CALIPER B&B

PROPOSED SEEDING & MULCHING

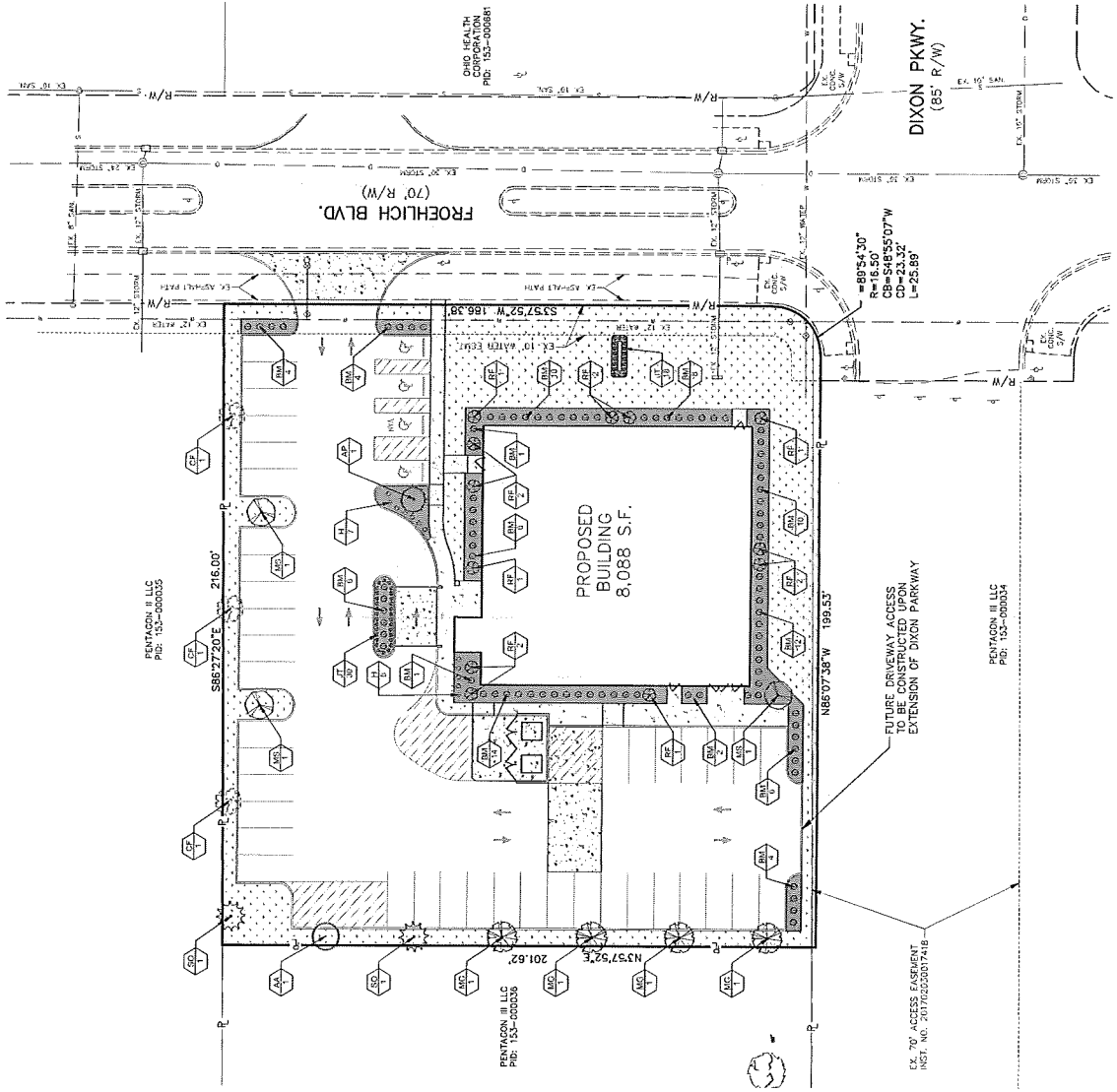
SYMBOL	COMMON NAME	DESCRIPTION
[Pattern]	HARDWOOD MULCH BED	PLANTING AREA TO BE MULCHED WITH BLACK DYED DOUBLE PROCESSED SHREDED HARDWOOD MULCH
[Pattern]	SEED MIX	GRASS SEED MIX

NOTE DATA

PARKING LOT LANDSCAPE TREES:
 REQUIRED = 1 PER 10 PARKING SPACES = 42 / 10 = 4.2 >> 5 TREES
 PROVIDED = 5

PERIMETER PARKING LOT TREES:
 REQUIRED = 1 PER 1,500 S.F. BUILDING AREA = 8,088 / 1,500 = 5.4 >> 6 TREES
 PROVIDED = 6

IMPERVIOUS AREA = 0.712 ACRES >> 2 IMPERVIOUS AREA = 0.712 / 1.001 = 71.1%
 PARKING LOT AREA = 29,928 S.F.
 MULCH BED AREA = 2,038 S.F.



PENTAGON III LLC
 PID: 152-000033

OHIO DEPT. OF REVENUE
 PID: 152-000881

DIXON PKWY.
 (85' R/W)

FUTURE DRIVEWAY ACCESS
 TO BE PROVIDED FOR
 EXTENSION OF DIXON PARKWAY

PENTAGON III LLC
 PID: 152-000034

EX. 70' ACCESS EASEMENT
 INST. NO. 2017020017418



IBI
 DIVISION: THE CITIES
 801 North High Street, Suite 100
 Columbus, OH 43215
 614.461.4400 ext. 2241
 www.ibigroup.com

REVISION:

DISCIPLINE:

PROFESSIONAL ENGINEERING SEAL
 ARCHITECTURE SEAL
 CONSTRUCTION DOCUMENT SET
 PROJECT DOCUMENT SET

FKC OBETZ

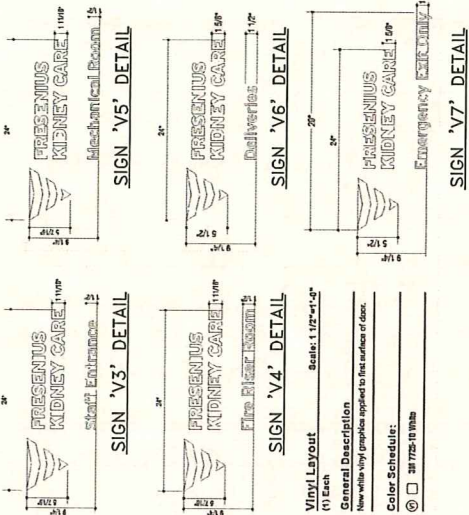
FRESenius PLUS
 OBETZ, OHIO 43207

DESIGN	DRAWN	CHECKED
PL	PL	PL
133740	133740	133740

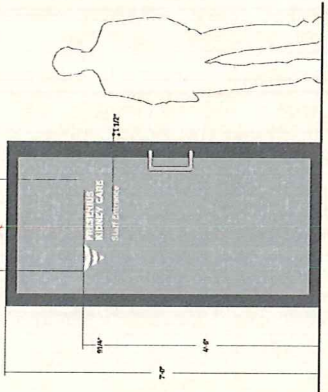
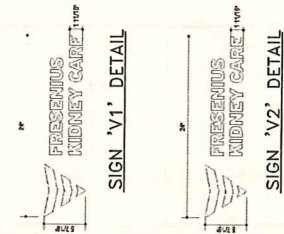
DATE: MARCH 5, 2020

SHEET NO.: 4

SIGN DETAILS



SIGN 'C' DETAIL
 NOT TO SCALE



NON-ILLUMINATED LETTERS
 Description: FCO
 Material: Acrylic
 Depth: 1/4"
 Face Color: Paint to Match PMS 286C
 Installation: Flush to Wall / Stubs
 Area: 32.27 S.F.

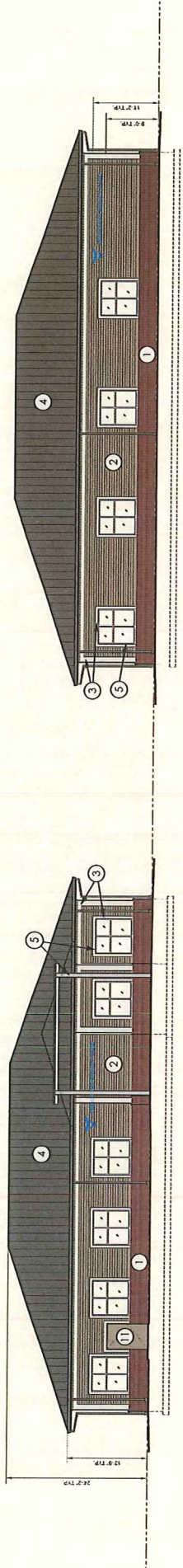


NON-ILLUMINATED LETTERS
 Description: FCO
 Material: FCO
 Color: Match PMS 286C
 Installation: Stud Mounted



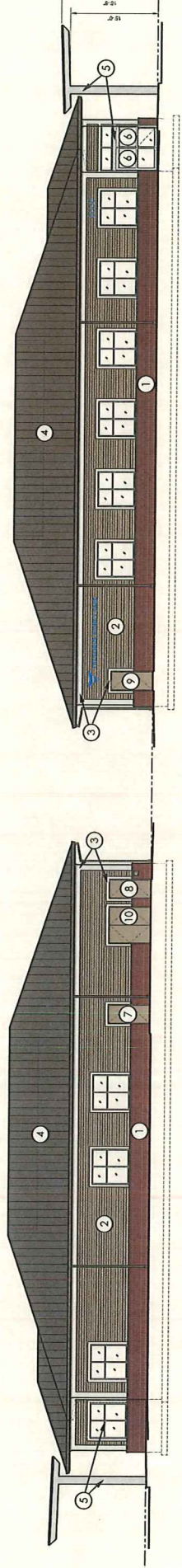
R7-8 (0001)
 12" X 18"
 R7-8P (0007)
 12" X 9"

NOTE: SIGN TO BE MOUNTED ON 2"x2" PLAIN GAUGE TUBING
 FROM GROUND. BOTTOM OF SIGN TO BE A MINIMUM 7"



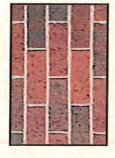
OBETZ #101063-1
NORTH ELEVATION

OBETZ #101063-1
SOUTH ELEVATION



OBETZ #101063-1
WEST ELEVATION

OBETZ #101063-1
EAST ELEVATION (FROEHLICH BLVD.)



1 BRICK - BELDEN BRICK INDIAN FULL RANGE MODULAR SIZE



2 FIBER CEMENT SIDING - JAMES HARDIE PLANK SIDING KHAKI BROWN



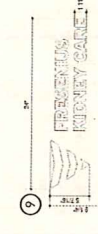
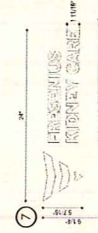
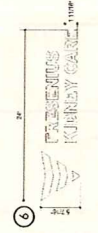
3 FIBER CEMENT TRIM - JAMES HARDIE TRIM BOARD ARTIC WHITE

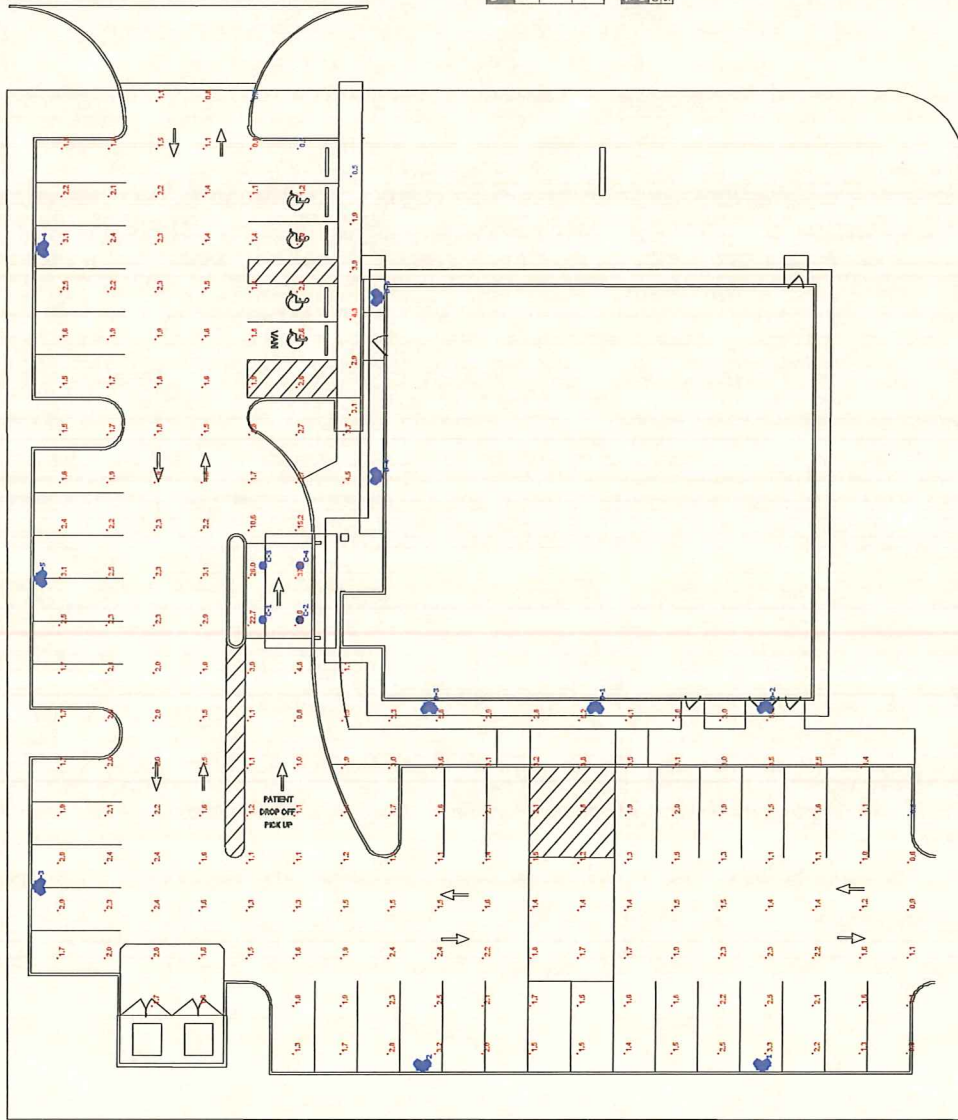


4 STANDING SEAM METAL ROOF - FREEFORM CHOCOLATE BROWN



5 STORE FRONT TERMS & FREE STANDING PRE-ENGINEERED DECK OFF CANOPY ALUMINUM





Schedule Item	Code	Quantity	Description	Manufacturer	Notes	Units	Output Per Fixture	Output
A	3	1	Urbania Lighting	LED P2-48K TYPICAL	DSXL LED P2-48K TYPICAL	LED	8952	0.9
C	4	1	Urbania Lighting	LDNS-40/50 LORAR LD	LDNS-40/50 LORAR LD	LED	4850	0.9
D	5	1	Urbania Lighting	DSXV1 LED 100' 1000' LIGHT ENGINE, TYPE TYPICAL, 48K TYPICAL	DSXV1 LED WITH 11' 10' LED LIGHT ENGINE, TYPE TYPICAL, 48K TYPICAL	LED	3945	0.9

Manufacturer	Product	Qty	Power	Height	Mounting
Urbania Lighting	LED P2-48K TYPICAL	1	8952	10.0	DSXL
Urbania Lighting	LDNS-40/50 LORAR LD	1	4850	10.0	LDNS
Urbania Lighting	DSXV1 LED 100' 1000' LIGHT ENGINE, TYPE TYPICAL, 48K TYPICAL	1	3945	10.0	DSXV1

DIN MISC
 10' x 10'